

## **City Administrator Report to Mayor & City Council**

*2017-05-26, Edition No. 267*

### **WEEKLY UPDATE:**

- Mississippi Drive: We met with the Hotel this week to coordinate hotel construction. As you know, August 31 is the completion date for the first section of Chestnut. The hotel is resting that we not begin Chestnut street work (utility work may begin sooner), but they do not expect that KE Flatwork will have access to begin work on Chestnut until October. This is at the hotel's request and should allow for completion yet this year (no guarantees), but will be weather dependent.
- ICAP: The City will receive an ICAP (property and casualty insurance provider) credit for this year of around \$8500. We will receive that credit voucher sometime in the next month and that amount will be deducted from our annual premium.
- Parking Ramp: The approved site plan is attached for your information. On Second Street MPW is requiring that the old water services be removed. A closure will not be required as they will alternate traffic. A full-depth replacement will be required.
- Sidewalk: The proposed 2017 sidewalk program (memo and map) is attached. For Fiscal Year 2017-2018 City Council has allocated \$100,000 towards the Sidewalk Construction Program. The intent of this program is to fill in the gaps in the City's sidewalk network.

### **Parks & Recreation:**

As we head into Summer here is an update on what is going on with Parks and Recreation. Please note that the request for services is very strong and the resources to accomplish the requests is very limited.

Aquatic Center - The pool will open for the season on Saturday, May 27th, will be closed on Sunday, May 28th for the Melon City Criterium Bike Race and then will open for normal hours for the remainder of the pool season on Monday, May 29th. The 60 seasonal pool staff have been trained and are ready to go! We are getting many requests for Family Pool Passes and pool party rentals.

Golf Course - The City Golf Tournament will take place on the weekend of June 10th and 11th and is open to anyone living in Muscatine County or who has a current season pass. The new Golf Professional is busy organizing our leagues and the Summer lesson program along with the many special outing requests. The staff recently finished AED Defibrillator Certification. The course looks very good and we are hearing many positive comments from the golfing community. Play is down a little but mainly due to the weather hitting at peak playing times of the week.

Recreation - The Summer Recreation Programs will be in full session the first week of June. Many of the youth programs have needed to have extra sessions added as the numbers are very good this year. That would include t-ball, gymnastics and blast ball. The adult volleyball league has 26 teams this year up from 17 teams last year. We did add a third court to the existing two in Weed Park to accommodate the increased interest.

Greenwood Cemetery - The staff have been very busy getting ready for Memorial Day weekend. The entire 80 acres have been mowed and trimmed. We have received many positive comments about the appearance of the cemetery and the condition of the grounds. The Cemetery Step Project is being worked on. The group is currently working on the hand rails.

Kent Stein Park - The park is in heavy demand at this time of the year. The usage would have to be one of best years as there is seldom an available diamond on a given night Monday -Thursday. During the weekend of June 3rd and 4th the park will host a 55 team softball tournament and a 20 team baseball tournament. Staff continues to work with the 25 groups that represent the teams that use Kent Stein Park.

Soccer Complex - The complex is in good condition heading into the busiest month of the year. During the weekend of June 3rd and 4th we will host the State Cup Tournament and the Presidents Cup Tournament. The Muscatine Soccer Club will have their club tournament during the weekend of June 9th - 11th, there will be two camps at the end of the month and Tyson Foods will have their company tournament on June 24th. All groups requesting usage of the complex have been accommodated again this year.

Boat Harbor - The boating season runs from roughly Memorial Day weekend through mid-September. We are in the process of finishing the REAP Grant Projects and should be done this next month. We have had some new slip renters this season but the high water this Spring has slowed total rentals down. The gas dock will open for the season this Memorial Day weekend. There have been a few reports of unruly citizens around the new boat launch area in the evenings and we are working with the Police Department to help with the situation.

Riverfront - The fountain will be operational this coming weekend and will be on until mid-September. There is potential for flooding at 18.5 next week which will require us to shut it down and sand bag the water entry areas. Pearl City Station and Riverview Center are getting good usage this time of the year with graduation and wedding party's. Again, flooding projection of 18.5 if reached will cause Riverview Center to be closed. There are a few Ash Trees that we will be removing from the parking lot next to the lift station. The trail and playground are heavily used and are in good condition.

Parks - Keeping up with the mowing has been a struggle to date but the parks at the last staff tour looked to be in great condition. The shelters continue to have strong rentals but the cold and rainy weather has affected total usage. There are several special events planned this Summer in the parks with one of the first being

this Sunday, May 28th with the Melon City Criterium taking place at Weed Park. Fourth Street Park has had 3 vandalism occurrences this month. The hanging baskets will be put out in mid-June. Right of Way mowing is getting more difficult to keep up with with the added property's but I think staff is staying on top of it. We are starting to get several tree related inquiries weekly that are taking staffs time. The parks are very active and well utilized.

Tornado Storm Damage March 2017 - Purchase orders have been issued for the following repairs needed due to the tornado that took place in March: Kent Stein Bleachers, Soccer Security Lights, Diamond #15 Fence, House Boat Docks, Riverview Center Roof, Kent Stein Building Roof Repairs, Transient Dock Repair, Riverfront Kiosk Replacement.

Thank you for your time and attention to this update. Please let me know if you have any questions or concerns. Have a great day! Thanks, Richard Klimes  
Director of Parks and Recreation.

### **Art Center:**

Here is a brief update on the Art Center - The contractor spoke to the Trane (chiller manufacturer) service technician and found out the refrigerant charge is still low. Some refrigerant will have to be added to the circuits to get to design capacity. The Trane tech noted that the weather has been too cold to add the extra refrigerant. Trane wants outside air temperature to be above 70 F before they "top off" the charge. I (AJ Associates) do not disagree with that minimum temperature requirement and Trane has been consistent on that point. Trane found and fixed a loose wire on compressor number three and repaired that so the refrigerant level seems to be the remaining issue to fix. They could only get the chilled water supply down to 50 F. We need to get chilled water supply below 45 F to de-humidify effectively. Consequently, A&J and Woodman have not been able to finish the final commissioning of the air handling unit HVAC system and to back check the already completed punch list. The sub-contractor doing repair and painting on the Carriage House windows should be setting up scaffolding this week to start the repair and painting work. The project will not be ready for close out by June 1, 2017 because the above items will not be completed and subsequently checked out by A&J prior to June 1, 2017. Cold and wet weather is impeding the sub-contractors from starting this final work. A&J cannot recommend close out until the chilled water system is operational and the Carriage House windows have been repaired and repainted.

### **Fireworks:**

P&Z info below and attached. We will return next Thursday with draft ordinance changes.

FOR IMMEDIATE RELEASE, May 22, 2017

COMMISSION TO DISCUSS SALE OF FIREWORKS IN MUSCATINE  
Planning and Zoning Commission to meet Thursday to discuss consumer fireworks

MUSCATINE, Iowa – The Planning and Zoning Commission of the City of Muscatine will conduct a special meeting at 5:30 p.m. Thursday (May 25) in the City Council chambers. The public is invited to attend and provide input as the Commission develops a recommendation on where in Muscatine it will be permitted for fireworks to be sold.

Iowa Gov. Terry E. Branstad recently signed legislation that legalized the sale and use of consumer fireworks. Consumer fireworks include items such as firecrackers, bottle rockets, roman candles, sky rockets, aerial shell kits, reloadable tubes, multiple tube devices, mine and shell devices, etc.

While the new state law provides some details for the sale and use of consumer fireworks, many aspects were left to local jurisdictions.

"The City of Muscatine Zoning Ordinance, as currently written, does not distinguish between consumer fireworks and other types of explosives," Andrew Fangman, city planner, said. "Therefore, until the zoning ordinance is amended, the sale of fireworks is limited to the General Industry (M-2) District, and then only with an approved conditional use permit."

The state law allows the sale of fireworks starting on June 1 which necessitates changes to City Code at the June 1 meeting of the Muscatine City Council. The Planning and Zoning Commission will make a recommendation on where and how the sale of fireworks should be allowed within the City of Muscatine prior to the Council meeting.

Three questions will be considered by the Planning and Zoning Commission: (1) should the City of Muscatine allow for the sale of fireworks to occur in areas beyond those zoned for general industrial use; (2) should there be a restriction on how close a temporary structure selling fireworks can be to an existing residential structure; and, (3) should a conditional use permit be required for the sale of consumer fireworks.

Local jurisdictions must permit the sale of consumer fireworks between June 1 and July 8 when sold from a permanent building and between June 13 and July 8 when sold from a temporary structure such as a tent. Local jurisdictions retain the right to zone where the sale of consumer fireworks can occur the same as they have the right to zone for any other commercial activity.

The new state law also covers the sale and use of consumer fireworks from December 10 and January 3 in permanent structures.

### **Project Schedules:**

The following is a revision of the council schedule as of May 24, 2017. This schedule is a tentative, flexible worksheet, but it helps us keep on track and provides a "process" road map for construction projects:

June 1, 2017

1. Public Hearing for the Cleveland Ave. Reconstruction Project
2. Resolution Approving Plans, Specs . . . for the Cleveland Ave. Reconstruction Project
3. Resolution Accepting Completed Work: West Hill Phase IIIA
4. Resolution Accepting Completed Work: West Hill Phase IIIB
5. Resolution Setting a Public Hearing for the 2017 Asphalt Overlay Program

June 8, 2017

1. Presentation of Traffic Control Plan - MAGIC/Public Works
2. Presentation for the 2017 Sidewalk Program
3. Request Authorization to Enter into an Agreement: REC for By-Pass/Mulberry Lights

June 15, 2017

1. Public Hearing for the 2017 Asphalt Overlay Program
2. Resolution Approving Plans, Specs . . . for the 2017 Asphalt Overlay Program
3. Resolution Accepting Completed Work: Art Center HVAC Project
4. Resolution Accepting Completed Work: Mulberry Ave. Reconstruction Project
5. Request Authorization to Enter into an Agreement: Bolton-Menk for the 2nd/Mulberry Intersection design
6. Request Authorization to Enter into an Agreement: Molton-Menk for the Grandview Ave. Reconstruction Project

July 6, 2017

1. Resolution Awarding Contract for the Cleveland Ave. Reconstruction Project
2. Resolution Awarding Contract for the Landfill Cell Construction Project
3. Resolution Awarding Contract for the 2017 Asphalt Overlay Program
4. Request Authorization to Submit CAT Grant

July 13, 2017

July 20, 2017

1. Resolution Approving Contract and Bond: Cleveland Ave. Reconstruction Project
2. Resolution Approving Contract and Bond: Landfill Cell Construction Project
3. Resolution Approving Contract and Bond: 2017 Asphalt Overlay Program

# The Merrill Hotel - Parking Garage

Muscatine, Iowa



SOLUM  
LANG

ARCHITECTS

1101 Old Marion Rd. NE  
Cedar Rapids, Iowa  
52402  
t: 319.862.0384

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REVISION ISSUE  
DATE & TITLE


Muscatine, Iowa

The Merrill Hotel - Parking Garage  
Garage Title Sheet

DATE

05.01.17

DRAWING NUMBER

C3

PROJECT NUMBER

14022a

## INDEX

### CIVIL

C3	Civil Title Sheet
C3-A	Garage Site Plan
C3-B	Removals and Grading
C3-C	Lower Level Paving Plan
C3-D	Garage Plan Utilities
C3-E	Garage Site Plan
C3-F	Details
C3-G	SUDAS Paving Details



Civil Engineer  
Martin and Whitacre  
Surveyors & Engineers  
Muscatine IA 52761  
t. 563.263.7691  
f. 563.263.0048



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT  
WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL  
SUPERVISION AND THAT I AM A DULY LICENSED  
PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE  
OF IOWA *Adam H. Shutt* 05/01/2017  
ADAM H. SHUTT, P.E. IA. REG. NO 19254 DATE  
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2018

Pages or sheets covered by this seal: 6 Sheets

Early Site Plan Submittal Set



1 Old Marion Rd. NE  
Iowa  
52402  
t: 319.862.0384

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## DIVISION ISSUE

**19 Mississippi Dr W  
Muscatine, Iowa**

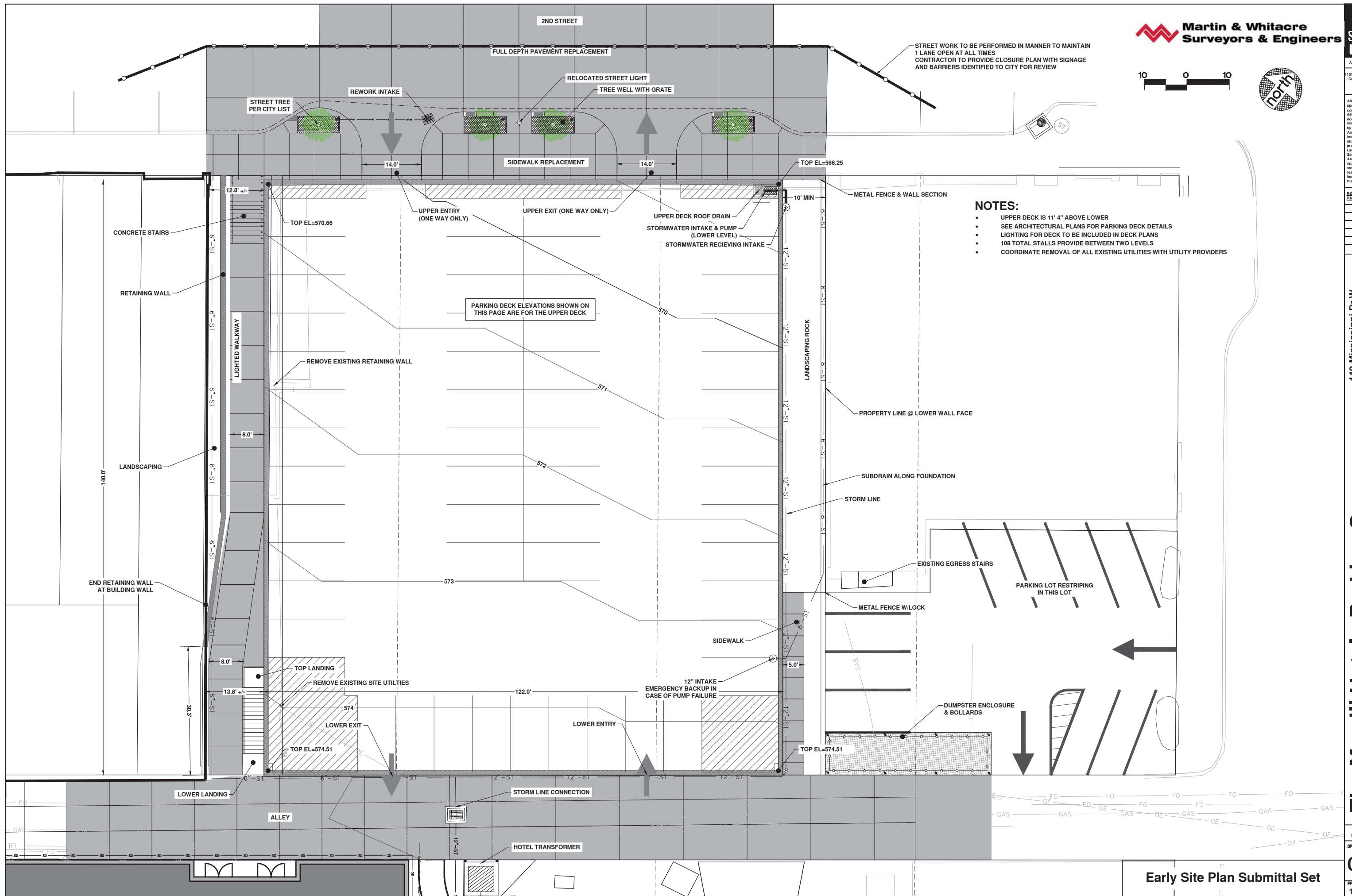
# The Merrill Hotel - Parking Garage

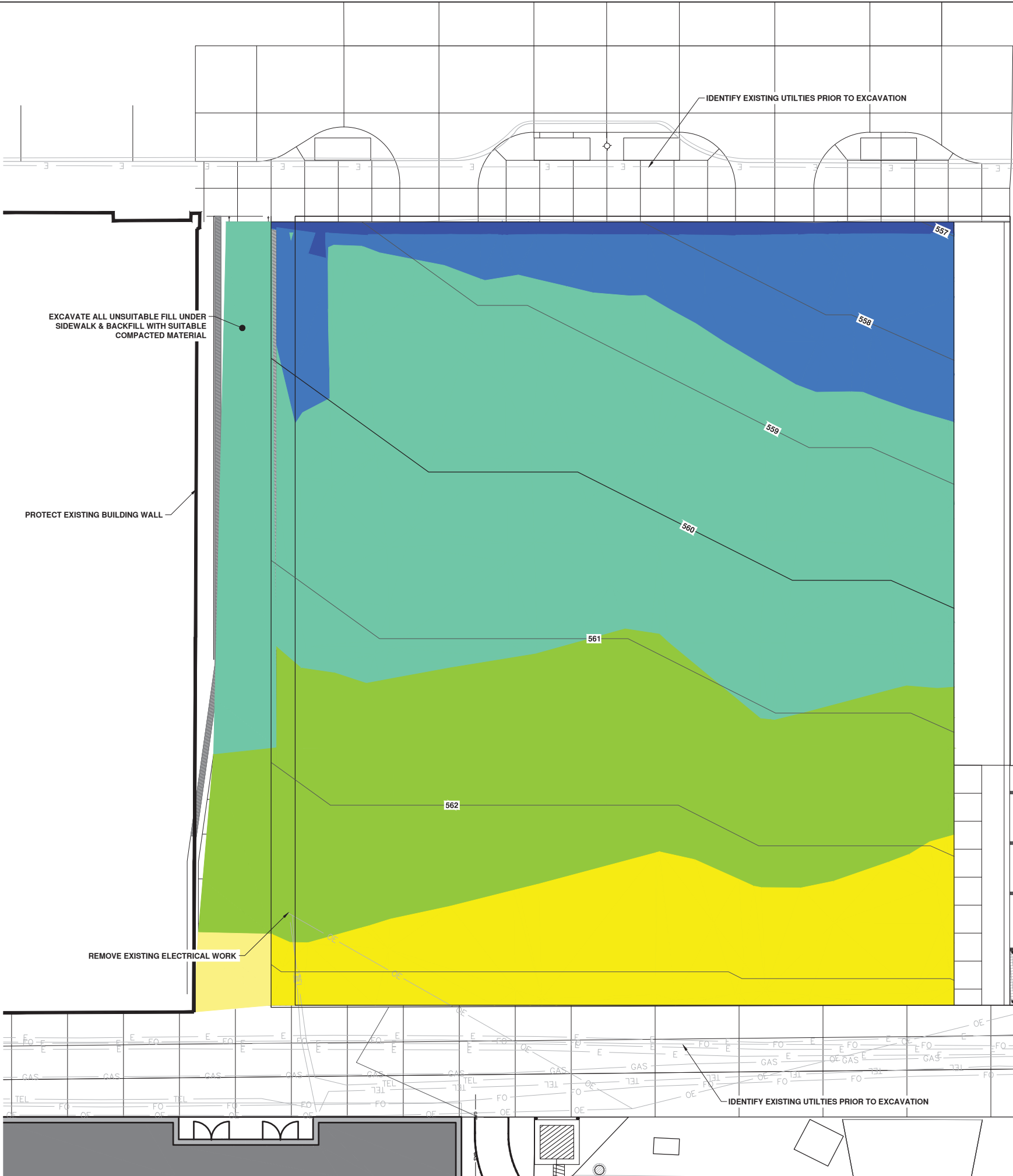
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DRAWING NUMBER

**C3-A**

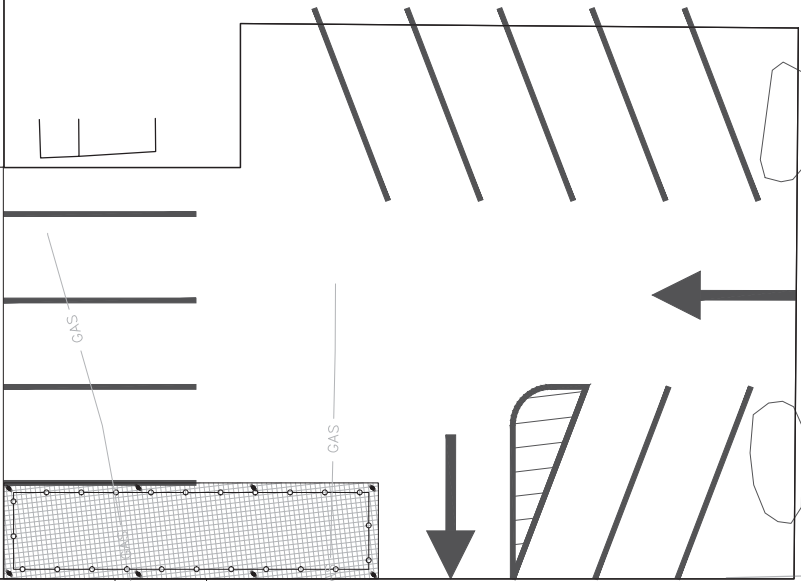
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CUT/FILL TABLE			
RANGE NO	MIN. CUT/FILL	MAX CUT/FILL	COLOR
1	C-13	C-10	Blue
2	C-10	C-7	Light Blue
3	C-7	C-4	Light Green
4	C-4	C-2	Medium Green
5	C-2	0	Yellow

1. CUT/FILL TABLE REFLECTS A COMPARISON OF EXISTING SURFACE (TOP OF ASPHALT) AND AN ELEVATION 12" BELOW BOTTOM PAVEMENT SURFACE
2. LOWER LEVEL PAVEMENT SHALL BE ON TOP OF 6" BASE AND 8" FILL PER ARCHITECTURAL PLANS
3. TOTAL CUT BETWEEN EXISTING PAVEMENT & EXPECTED SUBGRADE SHALL BE IN THE ORDER OF 3,500 C.Y.
4. ADDITIONAL REMOVALS WILL LIKELY BE NEEDED DUE TO OVEREXCAVATION, FOUNDATIONS, UTILITIES ETC
5. ALL EXCAVATIONS AND REMOVALS SHALL BE HAULED TO AN OFFSITE LOCATION
6. CONCRETE AND ASPHALT REMOVALS MAY BE HAULED TO CITY YARD





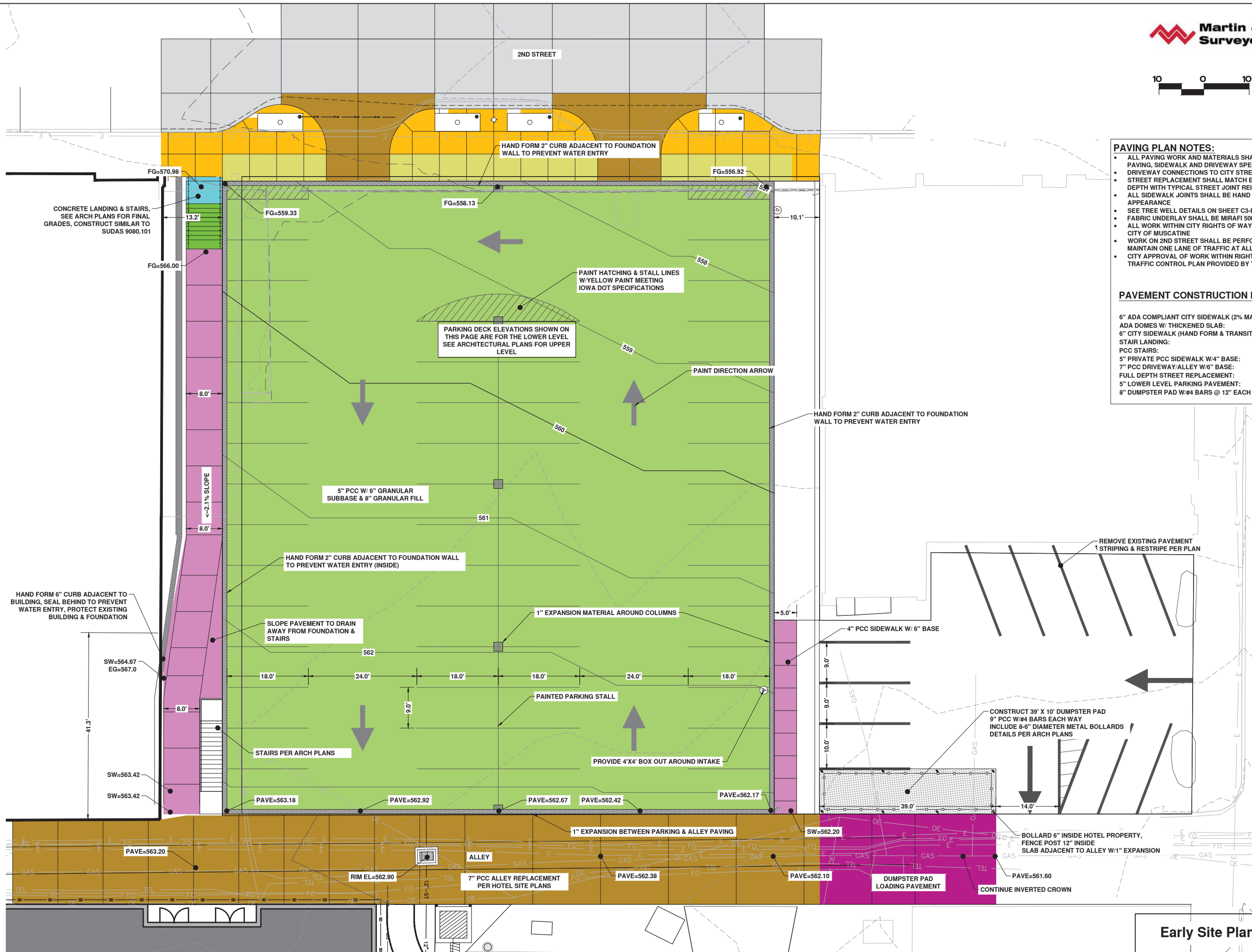


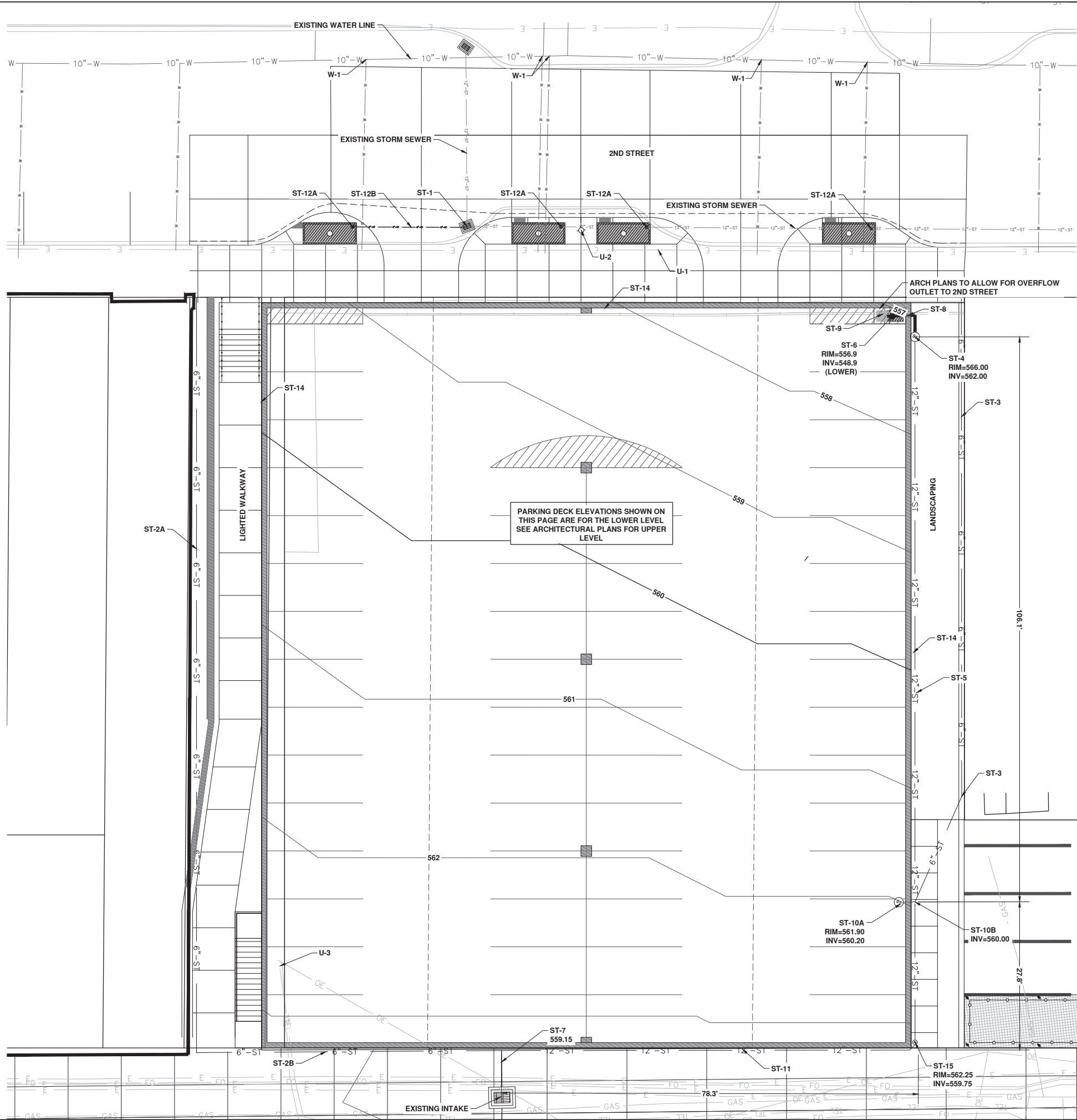
PAVING PLAN NOTES:

- ALL PAVING WORK AND MATERIALS SHALL STRICTLY FOLLOW SUDAS PAVING, SIDEWALK AND DRIVEWAY SPECIFICATIONS
- DRIVEWAY CONNECTIONS TO CITY STREET SHALL BE PER 7030.102 B
- STREET REPLACEMENT SHALL MATCH EXISTING STREET PAVEMENT DEPTH WITH TYPICAL STREET JOINT REINFORCEMENT PATTERNS
- ALL SIDEWALK JOINTS SHALL BE HAND TROWELLED FOR APPEARANCE
- SEE TREE WELL DETAILS ON SHEET C3-E FOR CONSTRUCTION NOTES
- FABRIC UNDERLAY SHALL BE MIRAFI 500-X OR APPROVED EQUAL
- ALL WORK WITHIN CITY RIGHTS OF WAY SUBJECT TO INSPECTION BY CITY OF MUSCATINE
- WORK ON 2ND STREET SHALL BE PERFORMED IN A MANNER TO MAINTAIN ONE LANE OF TRAFFIC AT ALL TIMES
- CITY APPROVAL OF WORK WITHIN RIGHTS OF WAY WILL REQUIRE A TRAFFIC CONTROL PLAN PROVIDED BY THE CONTRACTOR

PAVEMENT CONSTRUCTION LEGEND:

- 6" ADA COMPLIANT CITY SIDEWALK (2% MAX):
- ADA DOMES W/ THICKENED SLAB:
- 6" CITY SIDEWALK (HAND FORM & TRANSITION):
- STAIR LANDING:
- PCC STAIRS:
- 5" PRIVATE PCC SIDEWALK W/4" BASE:
- 7" PCC DRIVEWAY/ALLEY W/6" BASE:
- FULL DEPTH STREET REPLACEMENT:
- 5" LOWER LEVEL PARKING PAVEMENT:
- 8" DUMPSTER PAD W/#4 BARS @ 12" EACH WAY





**STORM & SEWER PLAN NOTES:**

- ALL UTILITY WORK SHALL INCLUDE COMPACTED MAN SAND BACKFILL AND APPROPRIATE BEDDING MEETING SUDAS SPECS
- UTILITY PLAN IDENTIFIES FINAL GRADES AFTER COMPLETION OF HOTEL PROJECT, IT IS EXPECTED THAT STORM AND SANITARY STRUCTURES WILL BE SET PRIOR TO FINAL FINISH WORK TO MATCH CURRENT IN-PLACE PAVEMENT GRADES. ALL STRUCTURES SHALL INCLUDE ADJUSTMENT RINGS
- WORK SHALL INCLUDE PLACEMENT OF TEMPORARY TRAFFIC AND SAFETY CONTROL MEASURES MEETING CITY INSPECTOR'S REQUIREMENTS
- CONTRACTOR SHALL PROTECT EXISTING UTILITIES AND LINES

**STORM SEWER WORK:**

- ALL MATERIALS AND EXECUTION TO FOLLOW IOWA SUDAS SPECS FOR WORK CLASSIFIED AS PUBLIC
- PRIVATE LINES TO BE INSTALLED TO MANUFACTURER'S SPECIFICATIONS
- ALL STORM LINES & STRUCTURES TO INCLUDE MAN SAND BACKFILL
- 12" PVC STORM INTAKES SHALL BE HARCO OR NYLOPLAST W/12" H-20 GRATE TOP

- ST-1: REMOVE EXISTING INTAKE CASTING & REINSTALL TO NEW PAVEMENT GRADES
- ST-2: A: 6" PERFORATED TILE ALONG RETAINING WALL PER DETAIL ON C3-F  
B: 6" SOLID WALL DRAIN LINE ADJACENT TO FOUNDATION WALL
- ST-3: 6" PERFORATED TILE ALONG FOUNDATION LINE  
ROUTE TO CONNECT TO 10" STORM LINE
- ST-4: INSTALL 36" PVC JUNCTION W/ ROUND SLOTTED GRATE LID  
RIM EL=566.00 OUTLET INVERT=562.00
- ST-5: 134 L.F. +/- 12" PVC LINE @ 1.5%, MEET INVERT GRADES SHOWN
- ST-6: INSTALL SUDAS SW-511 AREA INTAKE MODIFIED PER DETAIL ON C3-E  
PROVIDE STORMWATER PUMPING SYSTEM PER OWNER'S REQUIREMENTS  
ROUTE FORCE LINE THROUGH FOUNDATION TO INTAKE AT ST-4  
RIM EL=556.90 BOTTOM=548.90
- ST-7: EXISTING 12" HDPE STORM LINE @ INVERT=559.15  
CONNECT WITH DOUBLE 45° BENDS FROM NEW PVC LINE
- ST-8: ROUTE ROOF DRAIN THROUGH WALL TO INTAKE  
FIELD LOCATE ROUTE TO MEET STRUCTURAL DESIGN
- ST-9: ROOF DRAIN, ZURN Z537 SQUARE TOP HEAVY-DUTY PARKING DECK DRAIN W/ SUPPORT FLANGE  
INCLUDE PVC PIPING TO CONVEY WATER TO ST-6
- ST-10A: 24" PVC INTAKE W/ 24" X 24" H-20 RATED GRATE  
RIM EL=561.90 INVERT=560.20 W/ 10" PVC OUTLET
- ST-10B: INSTALL 12" X 8" WYE & 12" X 6" WYE
- ST-11: 12" PVC STORM LINE @ 0.8% SLOPE (SDR 23.5 PIPE) ADJACENT TO WALL
- ST-12: A: 6" PVC RISER INSIDE OF TREE WELL W/GRATE CAP SEE DETAIL ON C3-F  
B: INSTALL SOLID WALL 6" PVC PIPE TO INTAKE
- ST-13: 6" PVC RISER INSIDE OF TREE WELL  
CONNECT VERTICAL PIPE TO EXISTING 12" CONCRETE STORM PIPE
- ST-14: INSTALL 4" PERFORATED GRADE BEAM DRAIN ALONG OUTSIDE OF STRUCTURE  
ROUTE SOLID WALL PIPE TO LOWER LEVEL INTAKE & PUMP
- ST-15: INSTALL 12" DIAMETER IN-LINE GRATE AS A CLEANOUT ON HOTEL PROPERTY  
INSTALL DOUBLE 45° BENDS TO TURN CORNER

**WATER SERVICE WORK:**

- ALL WATER WORK SHALL BE INSPECTED AND APPROVED BY MPW

- W-1: LOCATE ALL EXISTING WATER SERVICE LINES & CAP AT MAIN PER MPW STANDARDS  
BACKFILL WITH COMPACTED MAN SAND & REPLACE PAVEMENT

**UTILITY SERVICE WORK:**

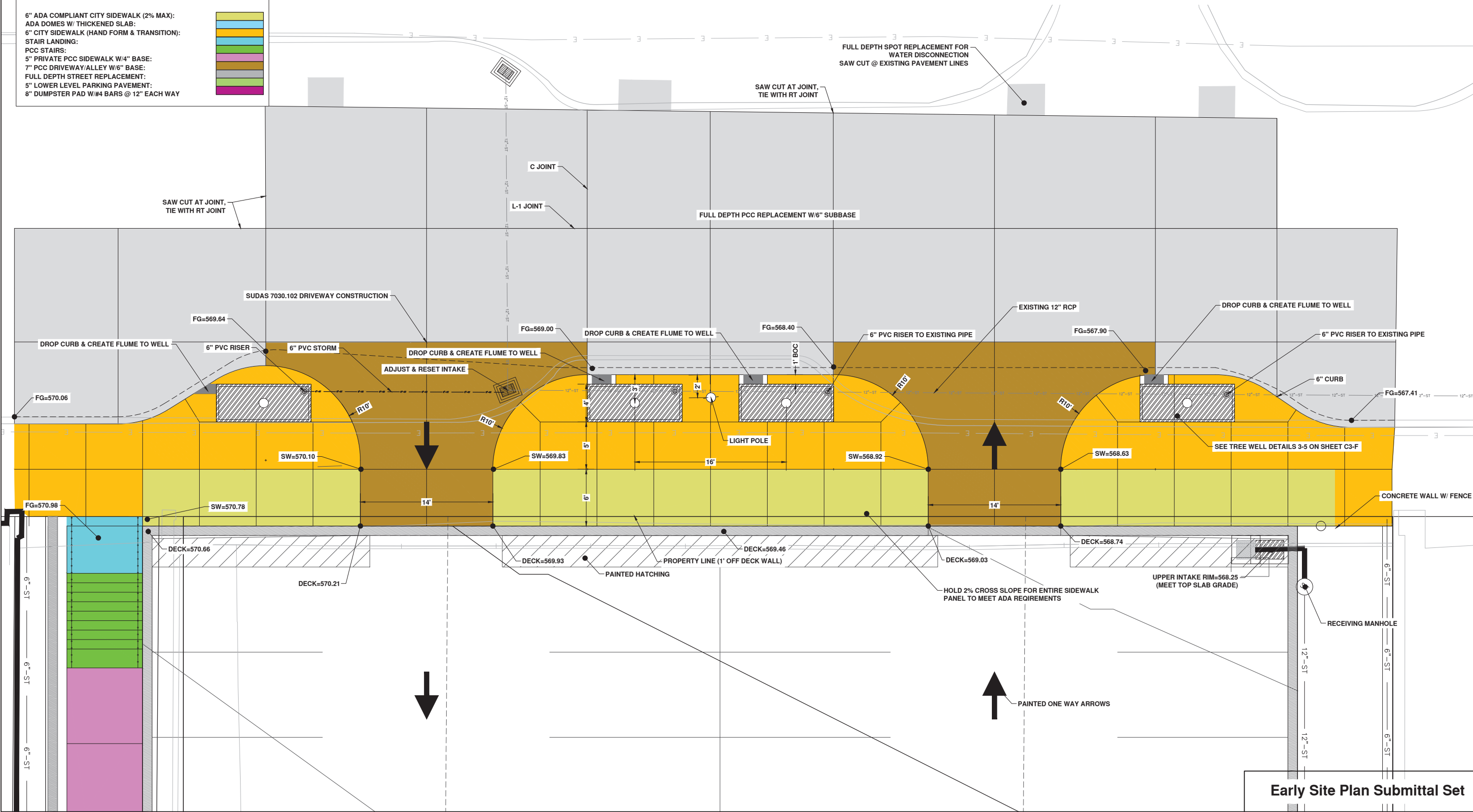
- FIELD LOCATE ELECTRICAL SERVICE TO GARAGE IN COORDINATION WITH LOCAL UTILITY CONTRACTORS

- U-1: REMOVE EXISTING LIGHT POLE & PROTECT EXISTING ELECTRICAL LINE  
COORDINATE RECONNECTION WITH MPW
- U-2: REINSTALL LIGHT POLE IN THIS LOCATION, EXTEND WIRING IN PVC CONDUIT  
COORDINATE ALL WORK WITH CITY & MPW STANDARDS  
CONFIRM LOCATION WITH CITY & MPW PRIOR TO PLACEMENT
- U-3: COORDINATE REMOVAL OF POWER POLE, UTILITY BOXES AND LINES WITH LOCAL UTILITY PROVIDERS

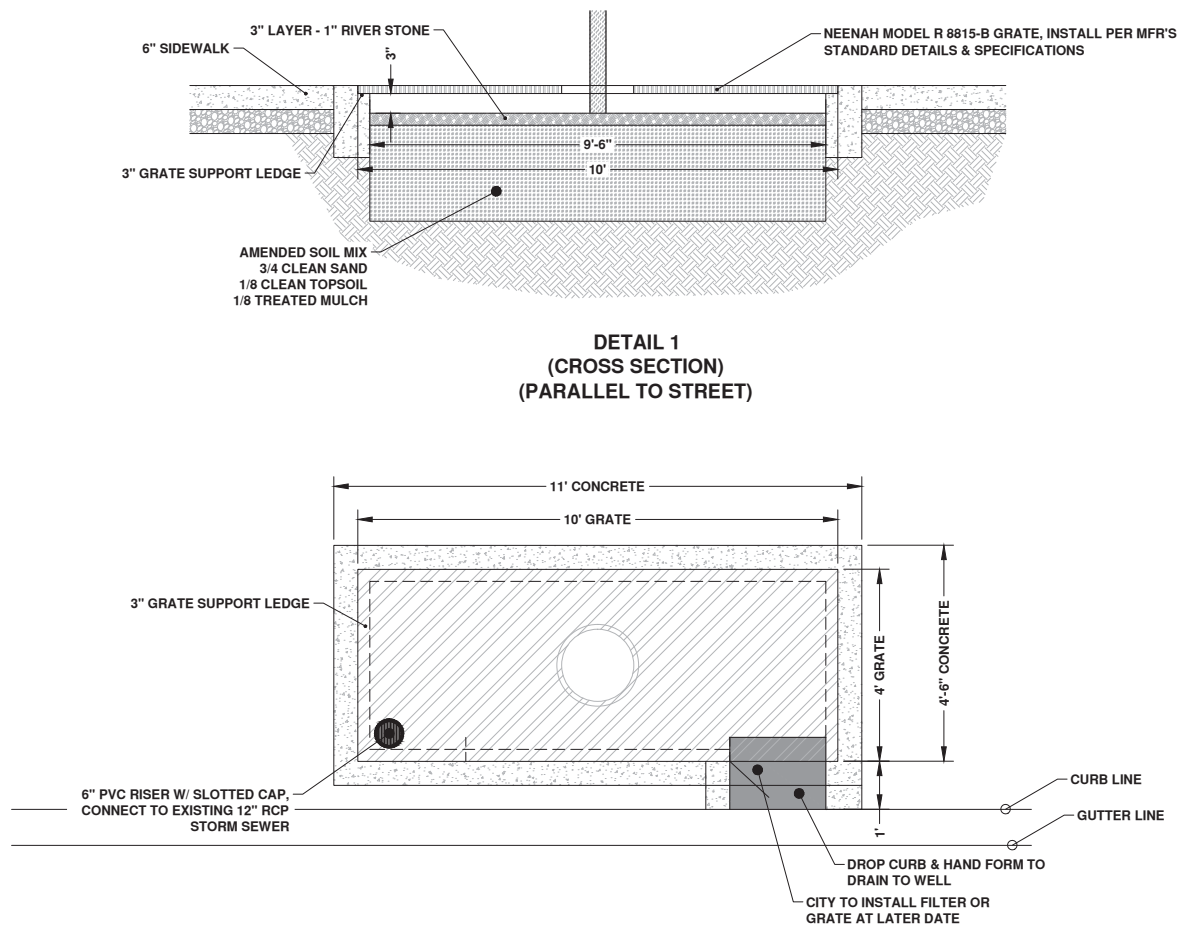
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**PAVEMENT CONSTRUCTION LEGEND:**

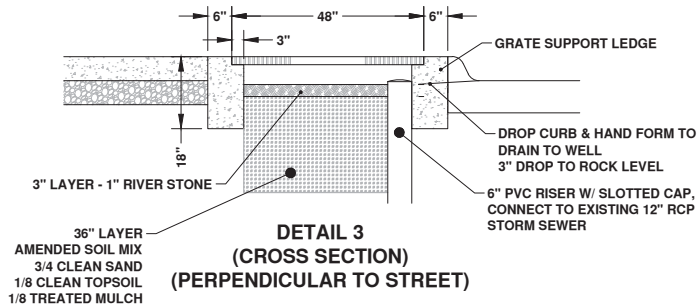
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- ADA DOMES W/ THICKENED SLAB:
- 6" CITY SIDEWALK (HAND FORM & TRANSITION):
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- PCC STAIRS:
- 5" PRIVATE PCC SIDEWALK W/4" BASE:
- 7" PCC DRIVEWAY/ALLEY W/6" BASE:
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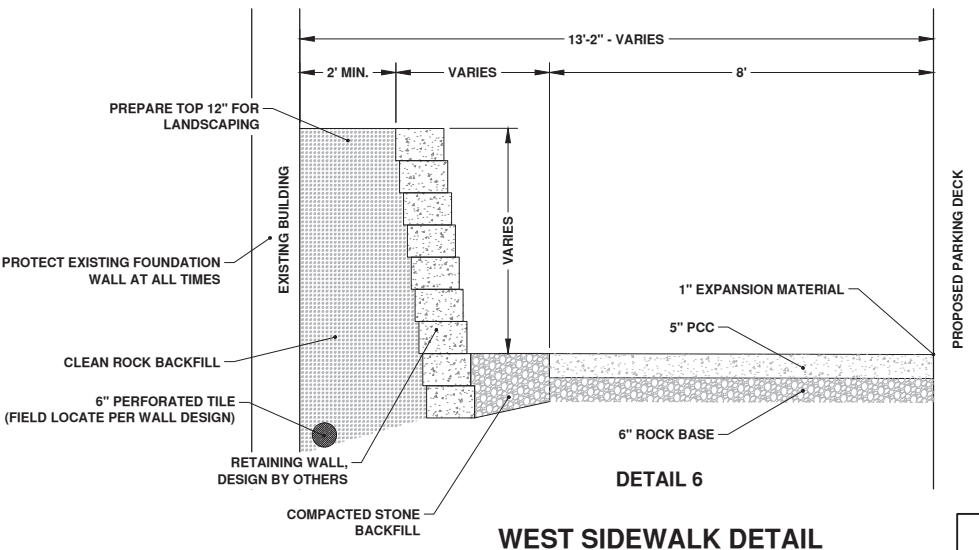
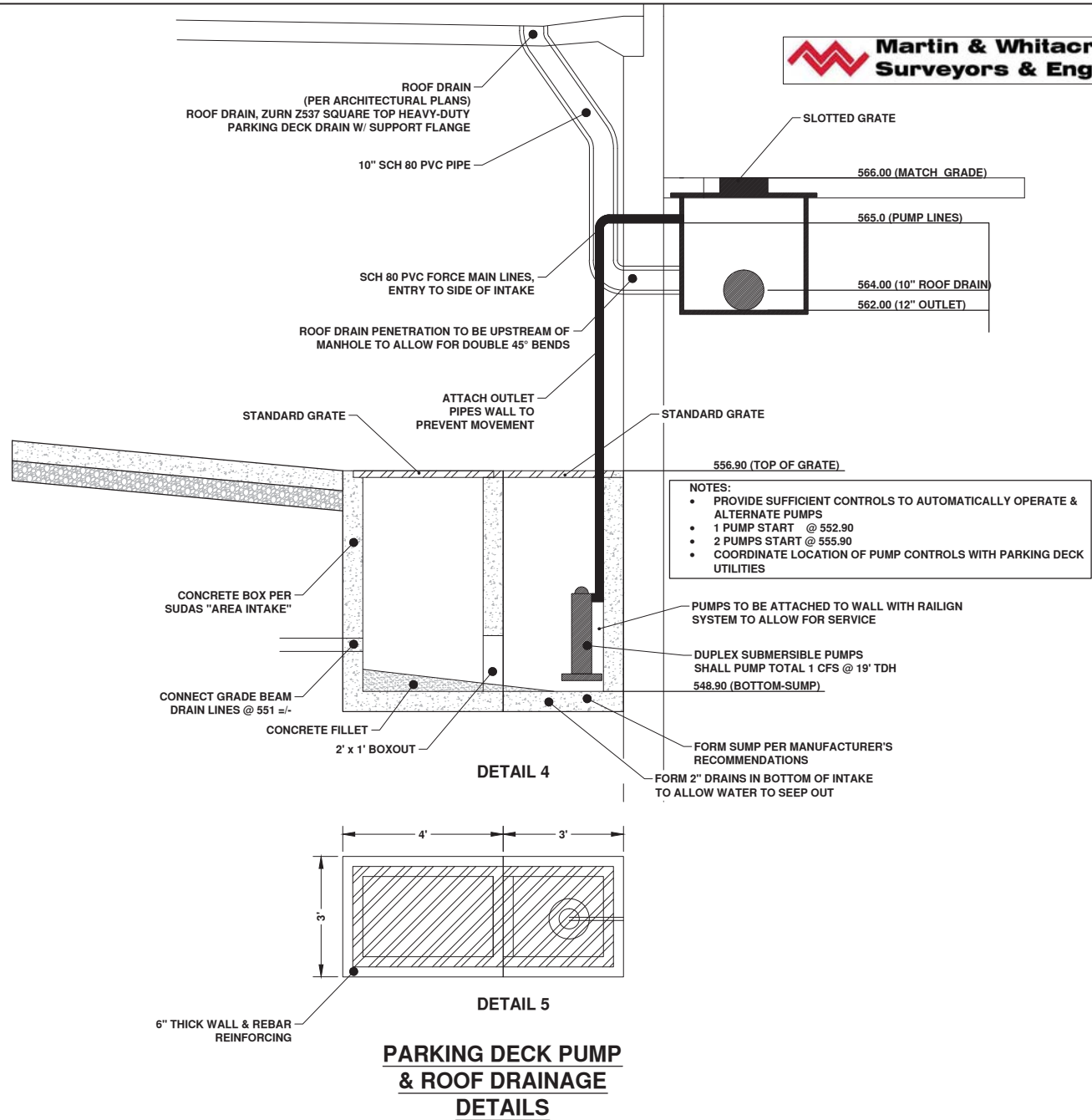




NOTE: WHERE GRATE IS NOT ADJACENT TO CURB, MODIFY TO DELETE CURB DROPS



**2ND STREET TREE WELL DETAILS**



**Martin & Whitacre**  
Surveyors & Engineers

**SOLUM LANG**  
ARCHITECTS

1101 Old Marion Rd. NE  
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T: 319.862.0384

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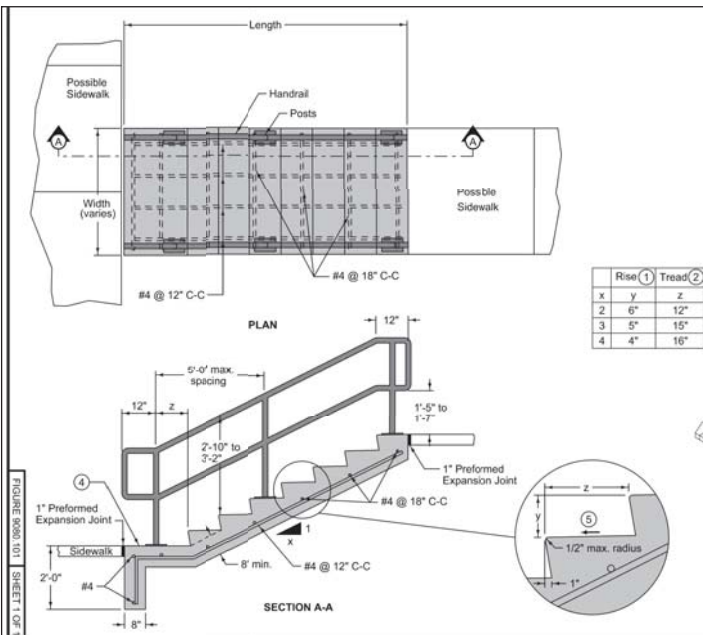
REVISION	ISSUE DATE & TITLE

Muscatine, Iowa

**The Merrill Hotel - Parking Garage**  
Details

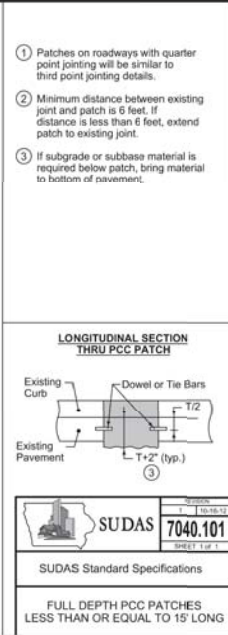
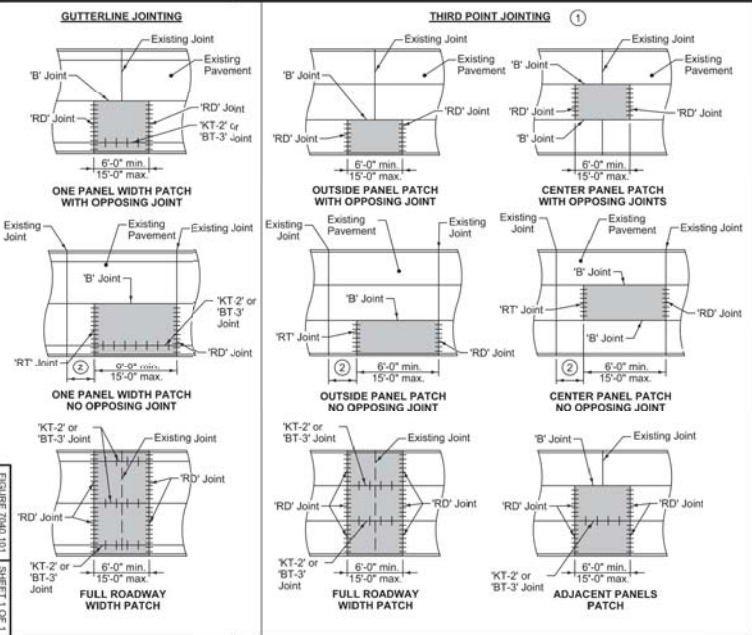
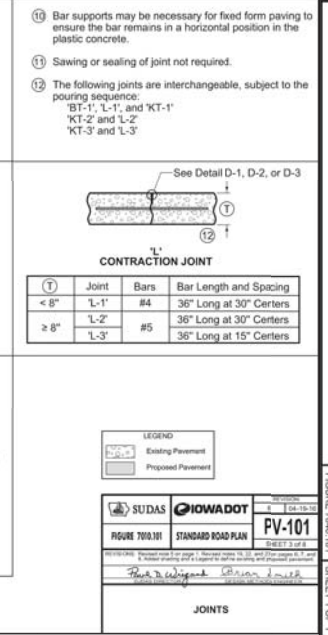
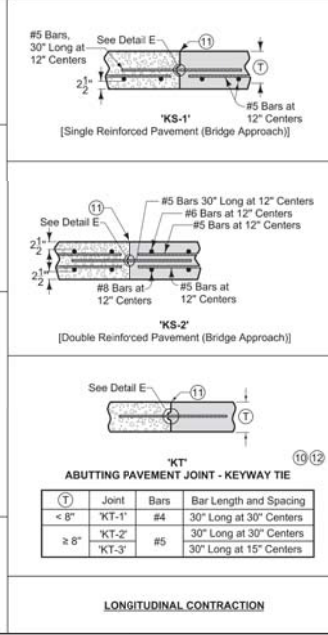
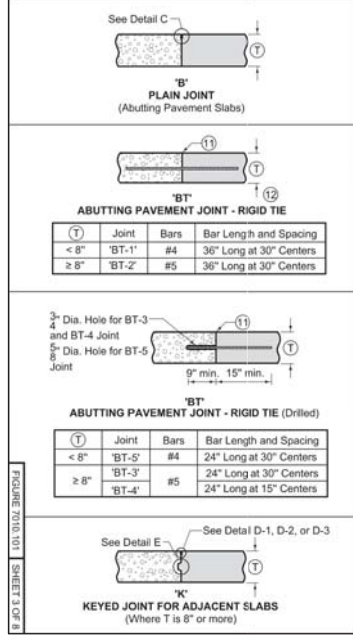
DATE	05.01.17
DRAWING NUMBER	C3-F
PROJECT NUMBER	14022a

Early Site Plan Submittal Set



- FIGURE 7030.102 SHEET 1 OF 1
- 
- TYPE B WITH FLARES
- TYPE B WITH RADI
- DETAIL A
- DETAIL B
- FIGURE 7030.102 SHEET 1 OF 1
- SUDAS 7030.102 SHEET 1 OF 1
- SUDAS Standard Specifications
- CONCRETE DRIVEWAY, TYPE B

- Driveway radius (R). Residential: 10 foot minimum, 15 foot maximum. Commercial and industrial: As specified in the contract documents.
- Transition the curb height to 6 inches at end of taper/radius or at the front edge of sidewalk. Do not extend raised curb cross sidewalk.
- Pavement thickness. Residential: 6 inches minimum. Commercial and industrial: 7 inches minimum.
- Sidewalk thickness through driveway to match thickness of driveway.
- If longitudinal joint is located 48 inches or less from the back of curb, extend boxout to joint line. Full depth saw cut is still required.
- For alleys, invert the pavement crown 2% toward the center of the alley.
- Target cross slope of 1.5% with a maximum cross slope of 2.0%. If specified in the contract documents, construct the sidewalk through the driveway 5 feet wide to serve as a passing space.
- If cross slope of adjacent sidewalk panel exceeds 2.0%, remove and replace to transition from existing sidewalk to sidewalk through driveway. If the elevation change requires a curb ramp, comply with Figure 7030.205, verify need for detectable warning panel with Engineer.



## COMMUNITY DEVELOPMENT

### MEMORANDUM

**To:** Mayor and City Council Members

**Cc:** Gregg Mandsager, City Administrator  
Dave Gobin, Community Development Director

**From:** Andrew Fangman, City Planner  
Jim Edgmond, City Engineer

**Date:** April 19, 2017

**Re:** 2017 Sidewalk Program

Planning,  
Zoning,  
Building Safety,  
Construction Inspection Services,  
Public Health,  
Housing Inspections,  
Code Enforcement

For Fiscal Year 2017-2018 City Council has allocated \$100,000 towards the Sidewalk Construction Program. The intent of this program is to fill in the gaps in the City's sidewalk network. In 2015 the City of Muscatine adopted the *"Bike and Pedestrian Master Plan."* The plan gives the following direction regarding Sidewalk Construction: *"The composition of each year's sidewalk construction program will be determined by available funds and the goal of creating networks of critical routes for non-motorized travel radiating outward from each school, which will then be linked together into a community-wide network of safe routes for non-motorized travel."*

The plan identifies locations where new sidewalks are judged to be a priority. These priority locations link schools, parks, bus stops, and other important locations within the city.

The 2017 Sidewalk Program will build off work completed as part of the 2016 Sidewalk Program, with the construction of approximately 1,400 linear feet of sidewalk in the area immediately to the west of Madison Elementary School. The Bike and Pedestrian Master Plan puts a priority on creating safe routes for bikes and pedestrians to schools, retail areas, and employment centers. Completion of this project will mean that nearly all residents, within walking distance of Madison Elementary School, are no more than a block away from a sidewalk that makes a safe and complete connection to the school. A secondary benefit of the 2017 Sidewalk Program, as outlined in this memo, would provide sidewalk access to the existing Mad Creek Greenbelt. Currently there is no off road access to this trail and green space.

Based on the unit prices in the 2016 sidewalk program a length of 5' wide sidewalk has been established that will fit into the 2017-18 sidewalk budget. The Bike and Pedestrian Master Plan has also been reviewed for locations that might fit within that budget. The estimated cost of the recommended sidewalk near Madison School is \$87,500.00. If the sidewalk bids come in with a favorable unit price we also recommend doing the short section along the north side of Tanglefoot Lane estimated at \$26,000.00.

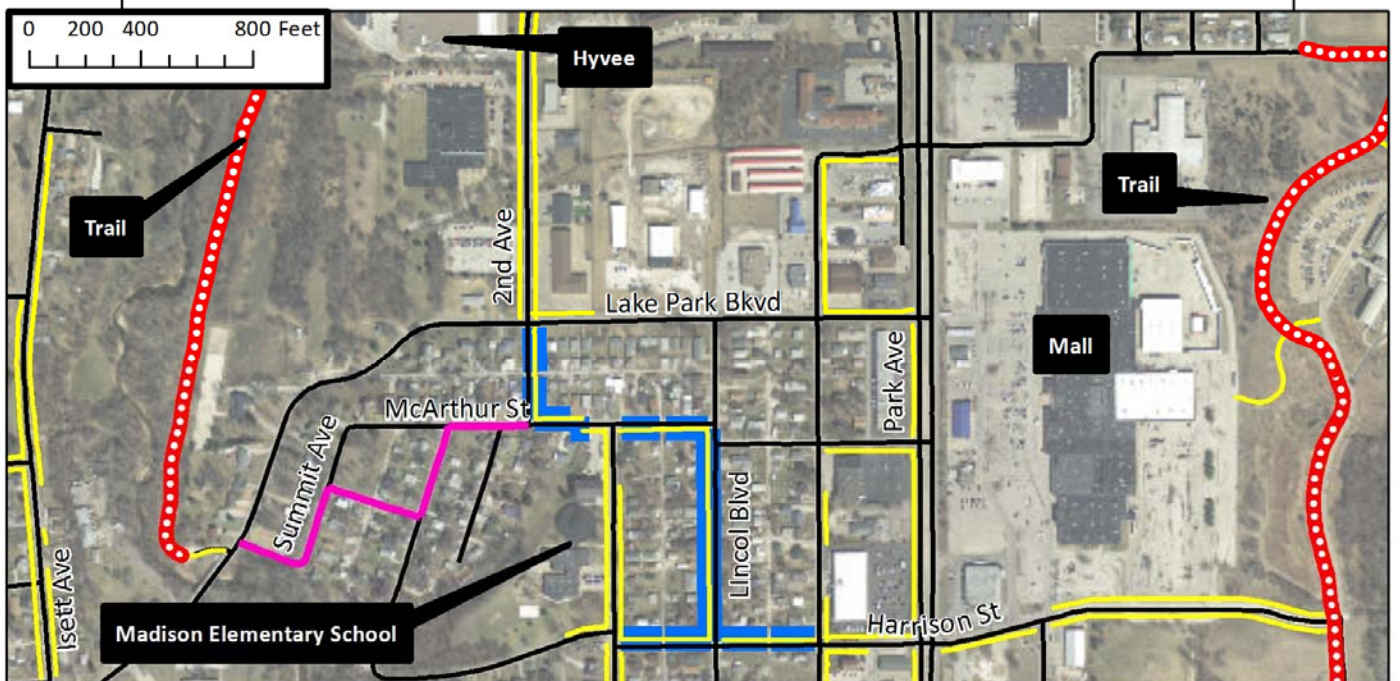
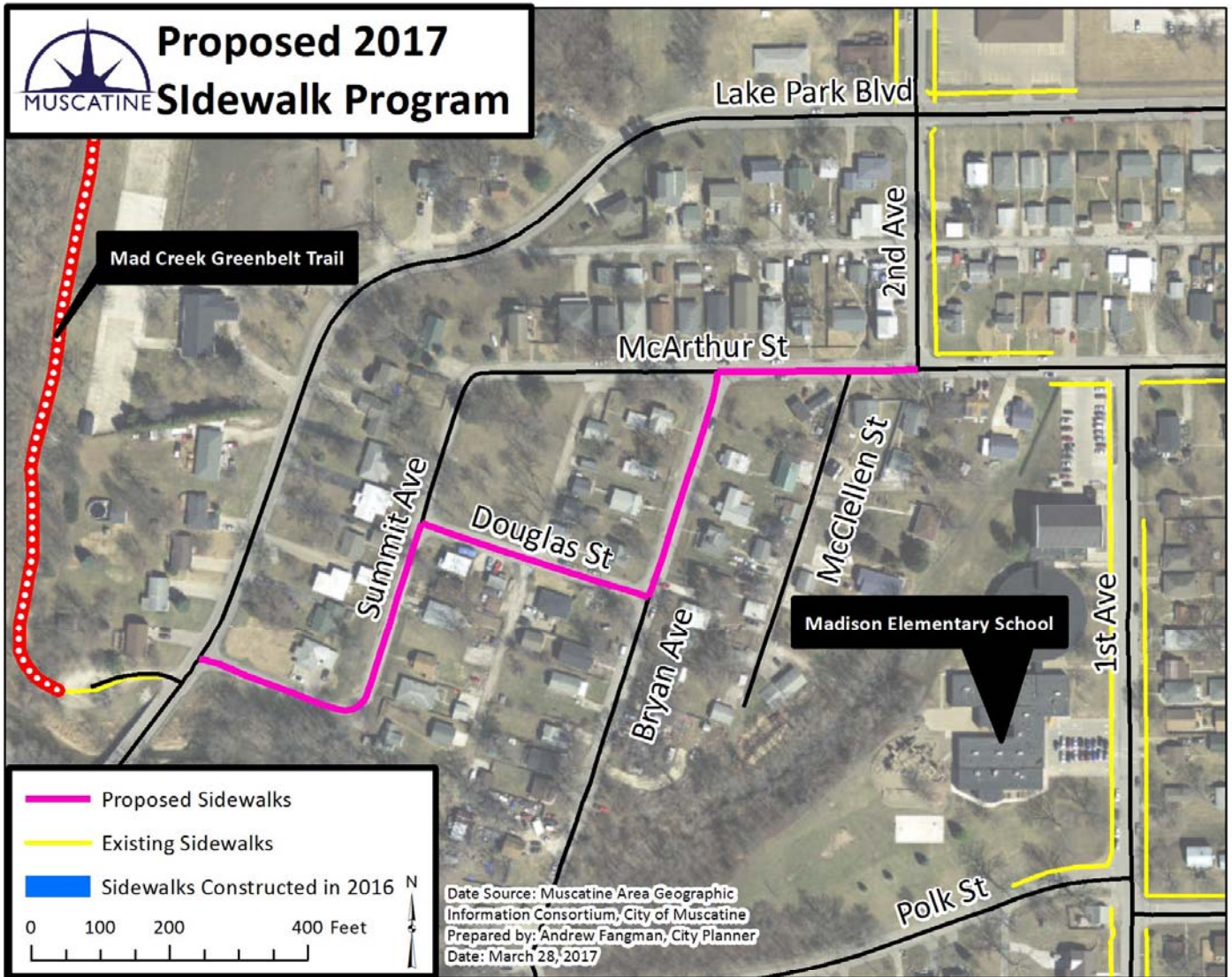
Maps are attached showing these routes.

Other locations were evaluated including the gap in sidewalks along isett ave. and in the weir street neighborhood. however the selected locations fit best within the defined need and budget.





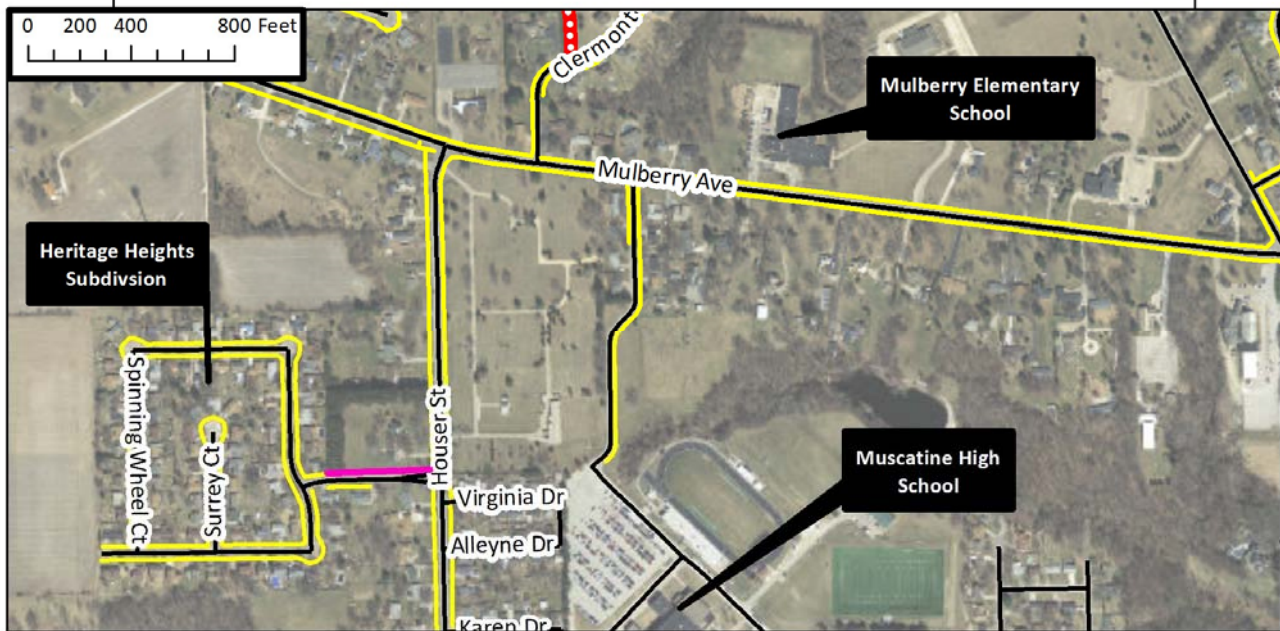
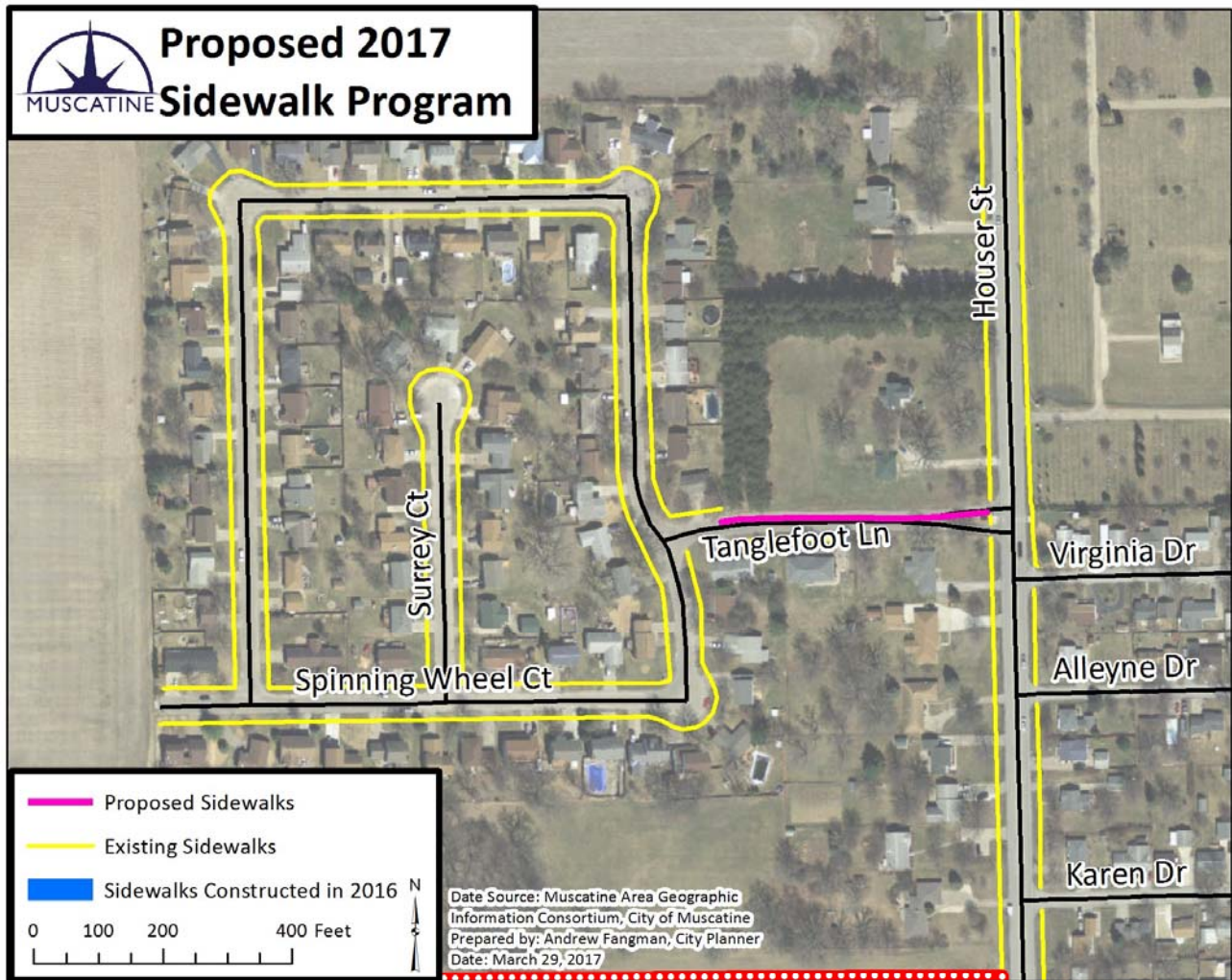
# Proposed 2017 Sidewalk Program







## Proposed 2017 Sidewalk Program





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**FOR IMMEDIATE RELEASE**

**May 22, 2017**

## **COMMISSION TO DISCUSS SALE OF FIREWORKS IN MUSCATINE**

*Planning and Zoning Commission to meet Thursday to discuss consumer fireworks*

**MUSCATINE, Iowa** – The Planning and Zoning Commission of the City of Muscatine will conduct a special meeting at 5:30 p.m. Thursday (May 25) in the City Council chambers. The public is invited to attend and provide input as the Commission develops a recommendation on where in Muscatine it will be permitted for fireworks to be sold.

Iowa Gov. Terry E. Branstad recently signed [legislation](#) that legalized the sale and use of consumer fireworks. Consumer fireworks include items such as firecrackers, bottle rockets, roman candles, sky rockets, aerial shell kits, reloadable tubes, multiple tube devices, mine and shell devices, etc.

While the new state law provides some details for the sale and use of consumer fireworks, many aspects were left to local jurisdictions.

“The City of Muscatine Zoning Ordinance, as currently written, does not distinguish between consumer fireworks and other types of explosives,” Andrew Fangman, city planner, said.

“Therefore, until the zoning ordinance is amended, the sale of fireworks is limited to the General Industry (M-2) District, and then only with an approved conditional use permit.”

The state law allows the sale of fireworks starting on June 1 which necessitates changes to City Code at the June 1 meeting of the Muscatine City Council. The Planning and Zoning Commission will make a recommendation on where and how the sale of fireworks should be allowed within the City of Muscatine prior to the Council meeting.



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Three questions will be considered by the Planning and Zoning Commission: (1) should the City of Muscatine allow for the sale of fireworks to occur in areas beyond those zoned for general industrial use; (2) should there be a restriction on how close a temporary structure selling fireworks can be to an existing residential structure; and, (3) should a conditional use permit be required for the sale of consumer fireworks.

Local jurisdictions must permit the sale of consumer fireworks between June 1 and July 8 when sold from a permanent building and between June 13 and July 8 when sold from a temporary structure such as a tent. Local jurisdictions retain the right to zone where the sale of consumer fireworks can occur the same as they have the right to zone for any other commercial activity.

The new state law also covers the sale and use of consumer fireworks from December 10 and January 3 in permanent structures.



